

PLANNING SUPPORTING STATEMENT

At: Deepdale Farm,
Keldholme

Cheryl **Ward**
Planning

For: Mrs C Lawson
At: Deepdale Farm, Keldholme, YO62 6NQ

Cheryl Ward Planning
MSc MRTP

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Table of revisions

Rev/version no.	Date	Amendment details	Revision prepared by

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1.0 Introduction

- 1.1 Acting upon the request of the applicant Cheryl Ward Planning has been instructed to submit a planning application in relation to the area outlined in red on the attached location plan at Deepdale Farm, Keldholme, York, YO62 6LE.
- 1.2 The client has instructed the introduction of the development on part of the land associated with the farm (south west). The site is to be used for the siting of 3 no. camping pods to supplement the existing wedding venue and is a continued form of rural diversification.
- 1.3 The site will continue to be managed and operated by the applicant. When not in use during the wedding season the pods will be used on a B&B basis (Airbnb).
- 1.4 The field in which the pods are to be sited is part of the same agreement with the main farmhouse and is on a long term basis unlike the camping field which is rented separately from Holt Farms on a shorter term tenancy. The scheme makes use of existing vegetation and landscape topography to assist with screening of the development.
- 1.5 The application also seeks permission to introduce an additional structure closer to the farm buildings/wedding venue and is referred to as a 'Sofa Barn' to further supplement wedding events.
- 1.6 The application seeks full planning permission for use of the land for the siting of 3 camping pods, a sofa barn and associated access and parking and is justified in the preceding sections of this Statement.
- 1.7 The site falls under the jurisdiction of Ryedale District Council for planning control and is within the open countryside within an Area of High Landscape Value designated as Fringe of the Moors (AHLV).
- 1.8 This Statement is prepared by Cheryl Ward Planning who holds an MSc in Town Planning and is a Chartered Member of the Royal Town Planning Institute (RTPI) and associated ICN and PERN networks.

2.0 Purpose of Statement

- 2.1 The statement is to be read and fully considered as a supporting document in conjunction with the accompanying planning application. Its aim is to assist those assessing the application to understand the design and access rationale. In summary, it provides a structured way of describing the development proposal.

3.0 Planning History

- 3.1 A search of Ryedale District Council's online planning records relevant to the case has revealed the following site history:

17/01455/FUL - Change of use of farmstead to form part livery stables, part holiday accommodation and part wedding venue, to include erection of a 1 bedroom timber chalet, a timber yurt/BBQ hut, Dutch Barn and raised decking, siting of a 2 bedroom static caravan and a shepherds hut and use of field for camping and parking and the creation of a new access road from within Bogg Hall Farm for wedding traffic (retrospective application) at Deep Dale Farm House, Keldholme, Kirkbymoorside YO62 6LE – Approve.

4.0 Planning strategy

- 4.1 The proposed development seeks to follow the principles of the **Ryedale Local Plan Strategy** – **Policy SP8** (Tourism), **Policy SP16** (Design) and **Policy SP21** (Occupancy Restrictions).

- 4.2 In essence, the development whilst in the open countryside it is not isolated from an existing residential rural unit which will be used to manage the accommodation.

- 4.3 The development presented in the preceding paragraphs aims to align with the following criteria set out in the most relevant **Policy SP8**:

The development will therefore be supporting:

- The provision of a range and choice of quality tourist accommodation in the District in a place where there is little of this type on offer.
- All year round tourism subject to the occupancy conditions set out in **Policy SP21**.
- Wider opportunities to experience Ryedale's cultural and creative businesses inspired by Ryedale's unique environment.
- The role of the site as a key wedding and visitor destination as well as gateway to tourism and recreational opportunities in northern Ryedale including the North York Moors National Park and Area of High Landscape Value.

- 4.4 This planning statement sets out the overall case for the proposed development and is supported by the following documents:

Continued ...

- Planning application forms.
- Design and Access Statement - CWP.
- Existing location plan - D11881-01 B.
- Existing block plan - D11881-02A.
- Proposed location plan - D11881-03D.
- Proposed block plan - D11881-04D.
- Sofa Barn (timber garden room) - D11881-05 A.
- Aerial view of proposed glamping pod location - D11881-08A.
- Glamping pod - D11881-09A.
- Proposed longitudinal site elevation - D11881-10A.

Site location

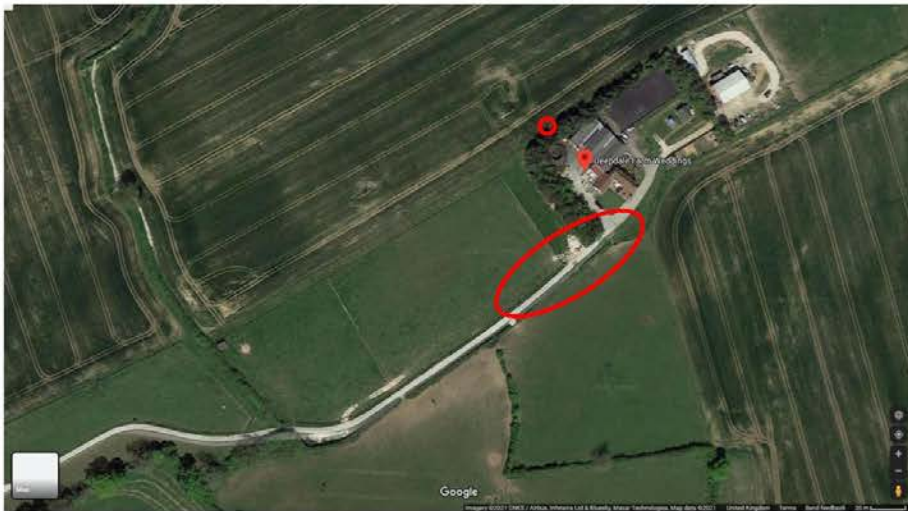


Fig 1. – Application site highlighted in red at Deepdale Farm, Keldholme. Source: <https://www.google.co.uk/maps/place/Deepdale+Farm+Weddings/@54.2681448,-0.9026619,307m/data=!3m1!1e3!4m5!3m4!1s0x487ed9a0ec5462ef:0x3d3a907e58bceafc!8m2!3d54.2685189!4d-0.9004648> – for illustrative purposes only as at 01 Feb 2021.

5.0 The Site

Site context and surroundings

- 5.1 The application site relates to Deepdale Farm, Keldholme. The site lies to the east of Keldholme village on the north side of the A170 which provides access between Kirkbymoorside and Pickering. Accessing the site is via the road to Hutton le Hole via Gray Lane.
- 5.2 As identified earlier in the Statement the site falls within the Fringe of the Moors Area of High Landscape Value (AHLV) and for planning purposes is deemed to be within the open countryside.
- 5.3 Deepdale Farm is situated 1.2 miles east of the market town of Kirkbymoorside and 5 miles west of Pickering in the northern part of the District. Within these settlements, including Helmsley and Malton there is a broad range of facilities that can already support the wedding venue and visa versa.
- 5.4 The Fringe of the Moors is described as relatively gentle south facing slopes dissected by well defined valleys. Extensive views out over lower land. Mainly arable with some pasture. Medium to large field pattern with predominance of trimmed hedges in the west increasingly given way to walled boundaries in the east. Generally sparse trees cover outside valleys and away from steeper slopes. Settlement confined to scattered farmsteads outside the spring line settlements on the southern edge. Network of tracks and roads following ridge tops and valley bottoms. Strongly rural character.
- 5.5 Although it is a largely open landscape, the AHLV Evidence (Annex A) confirms isolated farms such as Deepdale Farm (as the name suggests) are well set back in-land from public vantage points. The site is well screened from the road network by the landscape topography and natural screening consisting of vegetation i.e. trees, native hedgerows, shrubs, flora and fauna. To the east is Spaunton Quarry which is heavily tree lined. In this case, the field where the pods are to be established is well screened by semi-established shelter belt of trees to the south and north east. It is within this landscape that the low level camping pods are to be accommodated.
- 5.6 Deepdale Farm is a sizable agricultural holding with grazing land for livestock and equestrian uses.
- 5.7 The farmhouse is centrally located within the unit and is well placed to provide surveillance over the majority of the land holding and the proposed development(s). It takes in panoramic views across the valley towards Little and Great Edstone, east towards Sinnington, Spaunton and Appleton Common(s), west towards the town of Kirkbymoorside and further afield to the south and west through Ryedale.
- 5.8 Essentially, a low key farming operation continues to operate at the site and will continue to do so. The proposed development will supplant the existing wedding venue and when the camping pods are not in operation (May to Sept) will be offered on a B&B basis. They will therefore continue to act as a small scale income generator to supplement the farms economic stability/viability.

- 5.9 In a wider context the village lies on the southern fringe of the North York Moors and has good links to the A170 and the east coast, York (23 miles) and other tourist and recreational areas such as Castle Howard, Cropton and Dalby Forest(s), Helmsley (+ castle) and Yorkshires food capital of Malton.
- 5.10 The application site is within walking distance and is suitably linked to Kirkbymoorside (1.5km) and has good access links by road and other sustainable modes of transport i.e. cycling.
- 5.11 This linking of networks means the site can be sustainably linked from one site to another without necessarily using a car.
- 5.12 The application site itself is located immediately south west of Deepdale farmhouse on the edge of a small shelter belt of semi and well-established native trees (north and south). It is approximately 50 metres from the edge of the domestic curtilage to the application site and is where the pods would be positioned.
- 5.13 See existing location plan – OS Map Extract to show the relationship between the main house and the application site. Essentially, it is from the main house that the site is to be managed and overseeing the development will be achievable.
- 5.14 The characteristics of the local landscape includes the adjacent fields, hedgerows, shelterbelt plantation woodlands, individual trees, deep valleys and slopes and this will continue to provide a useful setting that will allow the development to nestle into the slope.
- 5.15 The site is fortunate to be able to take advantage of the spectacular views across the valley towards Little Edstone and beyond and although it is at the top of a hill, the development will occupy an almost level plateau. With the necessary existing and proposed screening in place it will mean the site is almost unnoticeable in the local landscape.
- 5.16 In summary, the proposed development will operate alongside the exiting farm unit and support a successful rural enterprise going forward. Essentially, it is a continued form of rural diversification that is subservient in scale to the existing dwelling and buildings at Deepdale Farm.

Planning brief

- 5.17 The objective of this initiative is to promote the sites unique distinctiveness alongside an existing rural enterprise whilst not harming or disturbing the peace and tranquillity of the area.
- 5.18 The wedding venue business facilitates a successful and positive cultural exchange scheme which brings an injection of cash to the local economy per annum from direct and indirect inputs/outputs. It is a form of sustainable diversification which also provides employment as well as other local businesses benefitting from the proposal including hotels, guest houses, B&Bs providing local accommodation, wine shop/suppliers, beauticians, hairdressers, florists, self-catering specialists and those offering taxi/carriage services, the majority of which can be found in the local towns of Helmsley, Malton and Pickering.


Geographic Information

- 5.19 Magic provides authoritative geographic information about the natural environment from across government. The information covers rural, urban, coastal and marine environments across Great Britain including the application site and is a reliable source of information.
- 5.20 The majority of woodland around the site is classified as a Priority Habitat Network with Lapwing, grassland assemblage (farmland birds) also found in the locality.
- 5.21 The area is part of a former catchment sensitive farming priority initiative (2011- 2015) (England) as it was found to be prone to sediment issues however is now deemed to be of a lower spatial priority and is not actively being pursued.
- 5.22 It is concluded that there are no non-statutory designated sites within 2km of the proposed development site and the local landscape designations do not post a constraint to the proposed development and visa versa.
- 5.23 The application site takes in only a small part of the land at Deepdale with very minimal loss of grassland and no loss of woodland or woodland habitat.

Flood Risk

- 5.24 The site is not deemed to be at risk of flooding from rivers, surface water or reservoirs as confirmed by the Environment Agency’s long-term flood risk assessment for locations in England.

Likelihood of flooding in this area

You can move the marker  on the map to identify a specific location.
Alternatively draw a shape to identify an approximate site boundary.

[How to draw a shape](#)

[Download printable map \(PDF\)](#)



Fig 2. – Flood map for planning. Source: <https://flood-map-for-planning.service.gov.uk/confirm-location?easting=470969&northing=486360&placeOrPostcode=YO62%206NQ> – for illustrative purposes only.

Soilscape

- 5.25 Local soil structure is described as slowly permeable and seasonally wet with slightly acid but base-rich loamy and clayey soils. It is a low carbon type with impeded drainage. It has seasonally wet pastures and woodlands and with land cover comprising grassland with some arable and woodland. Up to 19.9% of this type soilscape is found in England.

Natural drainage

- 5.26 All soils contain cracks and pores. Their average size and their total volume within a soil affect the speed and direction of rainwater draining through the soil. All soils act like sponges, but some are more absorbent than others. Freely draining soils absorb rainfall readily and allow it to drain through to underlying layers. Slightly impeded drainage refers to soils with a tight, compact deep subsoil that impedes downward water movement; after heavy rainfall, particularly during the winter, the subsoil becomes waterlogged. In soils with impeded drainage the effect is more severe and winter waterlogging results in very wet ground conditions. In the uplands, many soils have a greasy surface peat layer that holds water through the winter. These soils are described as having surface wetness and can be reasonably dry beneath. In low-lying sites, permeable soils are often affected by high ground water that has drained from the surrounding landscape. They are described as naturally wet.

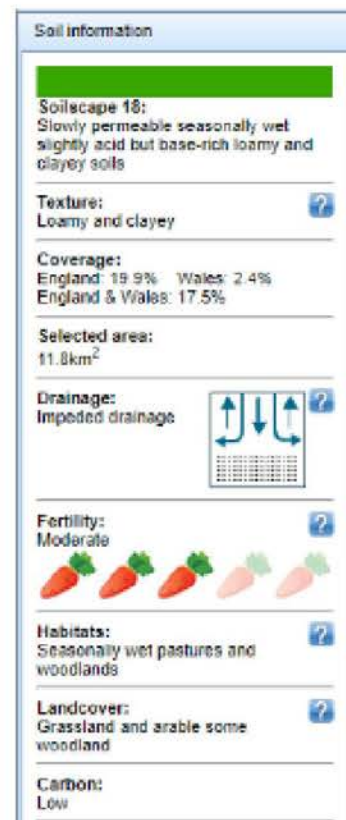


Fig 3. – Cranfield Soil and Agrifood Institute – Soilscape. Source: <http://www.landis.org.uk/soilscales/> - for illustrative purposes only.

6.0 The Proposal

Introduction

- 6.1 This Design and Access Statement is prepared by Cheryl Ward Planning and is submitted in support of this planning application.
- 6.2 The aim of the proposal is for use of the land for the siting of 3 no. timber camping pods and a sofa barn to supplement the facilities at this existing wedding venue. The accompanying plans and pod specification seek to show how this can be achieved on the site without harming the special qualities of the Area of High Landscape Value (AHLV).
- Proposed location plan - D11881-03D.
 - Proposed block plan - D11881-04D.
 - Sofa Barn (timber garden room) - D11881-05 A.
 - Aerial view of proposed glamping pod location - D11881-08A.
 - Glamping pod - D11881-09A.
 - Proposed longitudinal site elevation - D11881-10A.
- 6.3 The proposal seeks to make use of the land at the gateway to Deepdale Farm. It comprises a field to the south of the access track which can be found just before entering the yard to Deepdale Farm wedding venue.
- 6.4 An existing shelter belt of trees which border to the steading to the north east (as well as the one to the south) provides a suitable backdrop for introduction of the development proposal. As such the introduction of camping pods is not considered to have a detrimental impact upon the character or form of the application site, surrounding land or AHLV. Instead, the proposal is considered to continue to facilitate a positive cultural exchange that is of an appropriate scale i.e. low key offering unique holiday accommodation.
- 6.5 Proposed location plan identifies the development in relation to Deepdale Farm and pinpoints the exact position of the 3 no. units which are sensitively located close to the access track close to the existing facilities.

Glamping pods

- 6.6 The 3 no. pods are to be of the same type, character, design and appearance. There is to be no variation between units.
- 6.7 Each pod measures 5.2 metres long and 2.4 metres wide and approx. 3 metres high and sleeps 2 – 4 people encompassing a small family unit. Each pod sits directly onto the ground and will require a modest hard/permeable base to create a level area on which the pods are to be lifted into position.
- 6.8 The overall measurement includes a small covered decked area at the entrance to each pod.

- 6.9 Internally, each pod comprises a small dining table, sofa bed and standard double bed.
- 6.10 Typically, each pod has the appearance of an upside down boat with curvilinear roof.
- 6.11 The site is physically and functionally linked to Deepdale Farm and will be let predominantly to guests attending the wedding venue. Outside of the open season they will continue to be let on a B&B basis which forms part of the same rural enterprise.
- 6.12 The project has the potential to add to the sustainability of the applicant's business. It is needed to contribute to the farms income and will offer a distinct yet discrete diversification, tourism and recreational product in the wider District when the time permits.
- 6.13 A more detailed specification of the camping pod is included in the application documentation. **Dwg. D11881-09A** provides the dimensions of the low impact accommodation which avoids extensive alteration to ground levels and has a low environmental impact through limited foundations which will cause the least intrusion to the grass land.

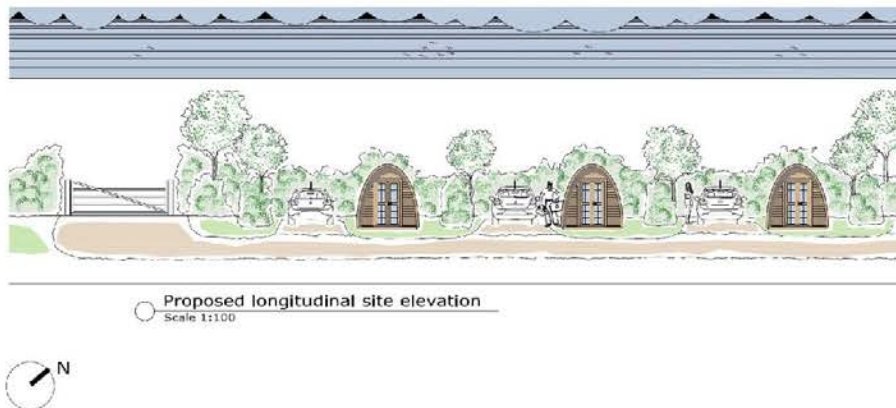


Fig 3. – Visualisation of pods in situ at Deepdale Farm, Keldholme.

Design and materials

- 6.14 In accordance with the Ryedale Local Plan Strategy **Policy SP16** (Design), the design of the proposed camping pods has been very carefully considered. The applicants aim is to create something that is sustainable to construct and operate whilst being sympathetic to the surroundings.
- 6.15 The pods are constructed wholly of sustainable timber within a timber framework and are externally clad all over in medium - dark coloured timber boarding to as to sit quietly in the local landscape.

- 6.16 The units must also be comfortable and luxurious enough to attract visitors to come and stay and revisit. As such the development would comprise a small cluster of high end visitor accommodation.
- 6.17 The units are constructed in such a way that relies on a low carbon footprint with minimal intervention such as hard surfacing and lighting – all of which may be conditioned if considered to be necessary.
- 6.18 Each pod would be self-contained and will be positioned spaciouly on the site to avoid being overly close to the adjacent unit. Each structure is single storey reaching an overall height of only 3 metres in order to be compatible with the surrounding landscape in order not to breach the sky/ridge line/backcloth.
- 6.19 The siting, scale, layout, orientation, density and design of the proposed structures is unlikely to adversely affect the special qualities of the area – including the peace and tranquillity of the location including dark night skies.
- 6.20 The development is designed to minimise the level of permanency so that the structures can be removed when they are no longer required and without damage to the natural landscape.

- 6.21 Section 5 of the Ryedale Local Plan states that *'tourism is an integral and valuable part of the District's economy. This is a significant contribution, and it is essential that the District's tourism industry can continue to develop but that this is achieved in a sustainable way which does not undermine some of the very special qualities – the historic settlements, scenic landscapes, sense of tranquillity - that visitors come to enjoy and experience.*

The Council recognises that in a rural area such as Ryedale, new tourist attractions, facilities and accommodation cannot be restricted to the more sustainable locations in the District. This could stifle opportunities to develop the District tourism base and diversify the wider rural economy. Equally however, it is important that a balance is struck and that new tourist accommodation, attractions and facilities are located in places where the scale, nature of activity and visual intrusion can be accommodated, for example, in terms of the character and sensitivities of the locality, wider landscape and the road network.

Ryedale is an extremely popular tourist and visitor destination based around the outstanding quality of the District's countryside, villages and Market Towns and its wealth of tourist attractions, some of which are of national or regional significance. The North York Moors National Park, the Howardian Hills Area of Outstanding Natural Beauty and Dalby Forest provide 'breathing spaces' for the enjoyment of the Countryside'.

Sustainable construction

- 6.22 It is part of the applicants brief to build the pods in the most sustainable way possible. Being able to create a product that is not only sustainable to build, but sustainable to operate and manage and to have the lowest possible impact on the surrounding environment.

- 6.23 Both frame and cladding of the building will be in timber. Medium to dark coloured materials will assist in disguising the buildings in the wider landscape. Double glazed windows will provide insulation whilst maximising solar gain throughout the day.

Drainage

- 6.24 The 3 no. camping pods will be served by non mains drainage via an existing reed bed system located within the shelter belt to the west of the yard/farmhouse. It is close to the domestic curtilage and is hidden beneath the ground. More so, it is sited away from any watercourses and has the capacity to cope with the additional loading.

Landscaping

- 6.25 Where possible the development seeks to minimise areas of hard surfacing for visual impact reasons and to reducing surface water run-off.
- 6.26 A landscaping condition may be imposed if it is felt necessary however it is considered the existing roadside hedge standing at approx. 1.5m high will be left to grow and mature naturally to provide a natural back-drop and screening of the proposed pods.
- 6.27 Low level planting will take place between the pods to afford privacy to the units.
- 6.28 A post and wire fence to the south will separate that development from the adjacent field to provide a small, enclosed area for the introduction of the small scale units.

Site Management

- 6.29 The site would be managed by the applicant who has a long term commitment to live and manage the wedding venue from Deepdale Farm alongside the small farm unit.
- 6.30 The applicant will operate and manage the site, take future bookings and control the level of activity and parking etc.
- 6.31 The development is compatible with the farm and neighbouring land uses and is unlikely to cause undue harm the character or appearance of the locality for themselves or future users of the site.
- 6.32 There is no requirement for additional accommodation from which to manage the site.

Access

- 6.33 Vehicle access to the site remains unchanged and will be taken (as approved) from the existing Bogg Hall Farm access from the Hutton le Hole road.
- 6.34 Parking is to be located alongside each pod with one allocated parking space per pod.

- 6.35 The field is to be accessed via an existing field gate. A 4.6m wide compacted stone access track will provide access to the pods and will run parallel with the main farm access track to a turning point at the eastern end.
- 6.36 Accessing to the existing toilets and shower block within the farmyard is via an existing field gate at the east end of the field and is for pedestrian use only.
- 6.37 Accessing the site for the purposes of the proposal does not pose a constraint to the development or other road users.

Sofa barn

- 6.38 In addition, it is proposed to introduce a small structure known as a 'Sofa Barn' to supplement the wedding venues facilities. It is to be located within the shelter belt of trees to the west of the farm buildings.
- 6.39 The idea behind the sofa barn is that it will be available for use during wedding events as a form of 'chill out' and relaxation area.
- 6.40 The sofa barn measures 3.6 metres long and 2.4 metres wide and comprises a simple timber structure enclosed to three sides with the main doors on the front elevation – see **Dwg – D11881-05 A**.

7.0 Peace, Tranquillity and Dark Night Skies Assessment

- 7.1 Dark night skies are one of Ryedale Districts special qualities. The ability to experience dark skies comes from the large areas of open countryside where there are low levels of light pollution.
- 7.2 The site lies within an Area of High Landscape Value and is on the fringe of the NYM National Park which is a designated dark sky reserve. The natural and open characteristics of the application site make it a perfect viewing point for experiencing the dark and starry skies in dramatic surroundings, from the valley floor to the open top plateau of the limestone hills to the west.
- 7.3 Another special quality of the area is the strong feeling of remoteness something the applicant wishes to share with visitors in the form of:

Stillness

Rustling of the trees in the breeze

A sense of calm from busy day to day lives

Serenity

Peacefulness

Quietness except for wildlife

Pinpoints of starlight against the blackness of the night sky

Restfulness

- 7.4 The 3 no. camping pods would provide a unique and quiet place to take advantage of these special senses. Having lived at the site for some time the applicant has a strong understanding of remoteness and this is used as a golden thread throughout the development.
- 7.5 It is the peace and tranquillity of the area which they wish to pass on to future visitors.
- 7.6 There is popular demand for camping pods and together with their scale and form unlike the manoeuvring/towing of caravans or siting of large static cabins/lodges etc and the sustainable nature of their construction makes them compatible for the locality.
- 7.8 The accommodation is likely to attract a different type of tourist than the standard camper/glamer; particularly those seeking to enjoy the peace and tranquillity of the locality and the feeling of remoteness and being outdoors without having to forgo everyday luxuries, such as comfortable beds, toilet and shower facilities.
- 7.9 There are currently very limited options for this type of accommodation in the area and so has the potential to attract a different group to the area.
- 7.10 Conserving and enhancing the dark night skies is of paramount importance to the applicant. They wish visitors to experience the darkness at night. In turn, this will maintain wildlife including species such as bats, moths and nightjar and therefore contribute to biodiversity and geodiversity.

- 7.11 Promoting the dark night skies through good management of the site and minimal low level and downward lighting will assist in minimising light spill in the remote fields surrounding the site.
- 7.12 The applicant is considering a low level lighting scheme that will preserve any ecological functionality of the site. In addition, with reference to reducing light pollution and the importance of dark night skies each pod will have black out blinds to windows as an additional means of mitigation.
- 7.13 In a wider context it is demonstrated that the development conserves the special qualities of the locality and that of a designated dark night sky reserve.
- 7.14 In conclusion, the nature of the development (pods and sofa barn) will not generate intensive noise, activity or traffic levels; will be well integrated into the surrounding landscape; is close to existing buildings and offers a high quality of design incorporating natural elements appropriate to the locality.
- 7.15 This Peace, Tranquillity and Dark Night Sky Assessment confirms the development will not superficially change the character of the surrounding area or affect natural habitats, biodiversity and the environment.



8.0 Planning Policy Context

Planning and Compulsory Purchase Act 2004

- 8.1 This section outlines the principal planning policies that pertain to the proposed scheme.
- 8.2 The Planning and Compulsory Purchase Act 2004 came into force in September 2004. It carries forward the provisions of the Town and Country Planning Act 1990, giving statutory force to a plan-led system of development control.
- 8.3 Under Section 70 of the 1990 Act and section 38 (6) of the 2004 Act, the determination of planning applications must be in accordance with the approved Development Plan unless material considerations indicate otherwise.

National Planning Policy (NPPF) (2020)

- 8.4 National planning policy is set out in the National Planning Policy Framework (NPPF) which was published in January 2019 and is a contributing material consideration. It provides a framework within which regional and local policy is set. The publication of the National Planning Practice Guidance (NPPG) in March 2014 gives further guidance.
- 8.5 Paragraph 7 of the recently published NPPF states that ‘at a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs’.
- 8.6 Paragraph 8 of the NPPF states that ‘achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways’ (so that opportunities can be taken to secure net gains across each of the different objectives):
- a) an economic objective
 - b) a social objective
 - c) an environmental objective
- 8.7 Paragraph 11 of the NPPF sets out the presumption in favour of sustainable development. For decision taking this means approving development proposals that accord with an up-to-date development plan without delay or where there are no development plan policies, or the policies which are most important for determining application are out-of-date, granting permission unless:
- The application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed.
 - Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

- 8.8 Paragraph 38 of the NPPF advises that 'local planning authorities should approach decisions on proposed development in a positive and creative way to secure developments that will improve the economic, social and environmental conditions of the area'.
- 8.9 Paragraph 83 of the NPPF states that 'planning policies and decisions should enable:
- the sustainable growth and expansion of all types of business in rural areas, both through conversion of existing buildings and well-designed new buildings;
 - the development and diversification of agricultural and other land-based rural businesses;
 - sustainable rural tourism and leisure developments which respect the character of the countryside; and
 - the retention and development of accessible local services and community facilities, such as local shops, meeting places, sports venues, open space, cultural buildings, public houses and places of worship'.
- 8.10 Paragraph 130 of the NPPF states that where the design of a development proposal accords with clear expectations in plan policies, design policies should not be used by the decision-maker as a valid reason to object to development.
- 8.11 Paragraph 131 of the NPPF states that 'in determining applications, great weight should be given to outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings'.
- 8.12 In addition to the above, paragraph 172 of the NPPF states that great weight should be given to conserving and enhancing landscape and scenic beauty in National Parks, the Broads and Areas of Outstanding Natural Beauty, which have the highest status of protection in relation to these issues.

The Ryedale Plan — Local Plan Strategy (2013)

- 8.13 Applications for planning permission are primarily considered against policies set out in the 'development plan' for Ryedale District. This is made up of a series of formal planning documents that have been through a period of consultation and testing and have been subsequently formally adopted by the District Council.
- 8.14 The Ryedale District Council Local Plan Strategy covers the whole of the administrative area of Ryedale District (excl. the NYM National Park). Ryedale District Council adopted its Core Strategy with modifications in September 2013 and together with the saved policies of the Ryedale Local Plan (2002) and the 2002 proposals maps form the Development Plan in force for the application.

- 8.15 The Strategy works in conformity with the National Planning Policy Framework (NPPF), referenced above.
- 8.16 An overall summary of national and local planning policies considered relevant to the case are summarised in the table below:

DOCUMENT	POLICIES AND DENOTATION
National Planning Policy	
National Planning Policy Framework (NPPF) (2019)	Paragraphs 2, 7, 8, 9, 10, 11,12, 38, 39, 40, 48, 83, 84, 127, 170, 172, 174, 175, 176,
National Planning Practice Guidance (2014)	Before submitting an application (2019). Consultation and pre-decision matters (2020). Design: process and tools (2019). Determining a planning application (2019). Making an application (2018) Permission in principle (2019).
Local Development Plan in force	
The Ryedale Plan — Local Plan Strategy (2013)	SP1 – General Location of Development and Settlement Hierarchy. SP8 – Tourism. SP13 – Landscapes. SP16 – Design. SP17 – Managing Air Quality, Land and Water Resources. SP19 – Presumption in Favour of Sustainable Development. SP20 – Generic Development Management Issues. SP21 – Occupancy Restrictions.

Table 1. – Planning policy and guidance.

Planning policy in more detail

- 8.17 The most relevant planning policy is **Policy SP8 (Tourism)** which acknowledges that tourism is a key contributor to Ryedale’s rural economy and within the ‘Wider Open Countryside’ seeks to support this type of self-catering accommodation. The tourist use element of this proposal is therefore considered to align with this policy.
- 8.18 The proposal is of a high quality design that will make a positive contribution to the local environment.

- 8.19 The development is also aligned with **SP16** in that it will function well and add to the overall quality of the area and Deepdale Farm, not just for the short term but over the lifetime of the development and is visually attractive as a result of good design and layout.
- 8.20 The development will create a place that is safe, inclusive and accessible and promotes understanding and enjoyment, health and well-being, with a high standard of amenity for existing and future users.
- 8.21 The accommodation is designed to attract the type of tourist looking for a unique type of accommodation; particularly those seeking to enjoy the peace and tranquillity and the feeling of being outdoors without having to forgo everyday luxuries.
- 8.22 This type of accommodation is growing in popularity and there are currently very limited options on offer and so as an existing wedding venue there is potentially an opportunity to retain visitors on site for longer and those who will make use of the existing facilities on offer in Helmsley, Kirkbymoorside, Sinnington, Pickering etc which is within easy reach of the site.
- 8.23 In summary, the development continues to maintain a strong sense of place, using the arrangement of and orientation of pods, spaces, building type and materials to create an attractive, welcoming and distinctive place to visit.
- 8.24 Finally, the proposal is in close proximity to and adequately accessible to the existing road network; and provides adequate levels of car parking.

9.0 Conclusion

- 9.1 This section brings together the information presented within this planning statement and provides a reasoned conclusion for the approval of this application.
- 9.2 This statement demonstrates that the proposed development accords with the relevant national and local planning policies. Paragraph 7 of the NPPF (2019) states that at a very high level, the objective of sustainable development can be summarised as meeting the needs of the present without compromising the ability of future generations to meet their own needs.
- 9.3 The application seeks to promote an existing rural business to ensure the continued viability of the property known as Deepdale Farm Wedding Venue. In doing so, based on the above guidelines, this 'small scale' development (pods and sofa barn) would not generate an increase in activity levels which would be harmful to the sites existence and is compatible with the existing activities taking place at the site.
- 9.4 The site is ready for development and can make an important contribution to meeting the Districts tourism economy to thrive and can be built out quickly.
- 9.5 The Ryedale Local Plan Strategy acknowledges the integral and valuable contribution that Tourism makes to the local economy and is supportive of the 'Wider Open Countryside' being used more actively for small scale and unique tourist accommodation. This is considered necessary to support a prosperous rural economy.
- 9.6 Supporting sustainable rural tourism development which respects the character of the countryside is key contributory factor of the NPPF (para. 83).
- 9.7 The type of accommodation has been chosen fundamentally for its low-level impact on the landscape and can be integrated in a way that does not result in an unacceptable or adverse impact on its character and appearance of the locality or impact on habitat, wildlife, biodiversity and geodiversity on and around the site.
- 9.8 The above planning appraisal concludes that the development is of an appropriate scale and nature that can be accommodated on the site without harm to the character of the locality, the wider landscape (AHLV) and the road network.
- 9.9 Supporting the sustainable growth of the site's usage will allow this small rural business to prosper in the long term.
- 9.10 Taking account of the above, the development is considered to accord with the policies of the Development Plan in force it is requested that planning permission should be granted without further delay.

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